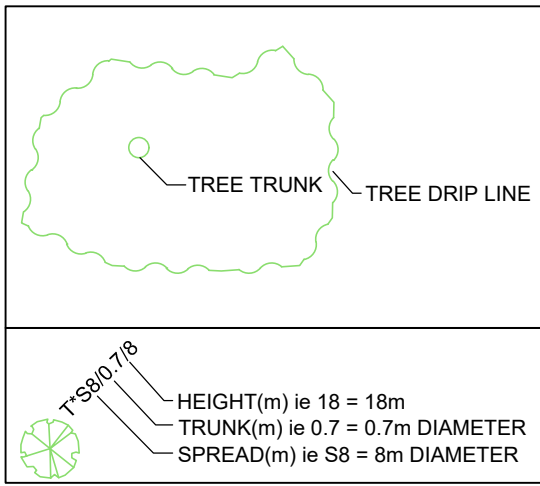


- TREE SIZES ARE ESTIMATES ONLY
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED IN THIS SURVEY.
- SERVICE & UTILITIES SHOWN ON PLAN HAVE BEEN LOCATED BY PHYSICAL EVIDENCE ON SITE ONLY AND MAY NOT HAVE BEEN OPENED TO VERIFY THE TYPE OF UTILITY. NEITHER EXCAVATION NOR POTHOLING HAVE BEEN CARRIED OUT TO CONFIRM UNDERGROUND LOCATION. SERVICE DETAILS SHOULD BE CONFIRMED WITH THE RELEVANT SERVICE AUTHORITY DURING DESIGN & PRIOR TO ANY CONSTRUCTION.
- ALL DIMENSIONS MUST BE VERIFIED ON SITE PRIOR TO ANY CONSTRUCTION.
- THE POSITION OF SURVEYED DATA HAS BEEN LOCATED AND IS SHOWN TO TOPOGRAPHIC ACCURACIES. IF CLEARANCES TO BOUNDARIES OR OTHER FEATURES ARE CRITICAL AND DIMENSIONS ARE NOT SHOWN FURTHER SURVEY MAY BE REQUIRED.
- THERE ARE DISCREPANCIES BETWEEN THE TITLE DIAGRAM DIMENSIONS AND THE ORIGINAL DEPOSITED PLAN DIMENSIONS AND AS SUCH THE BOUNDARIES ARE SUBJECT TO CHANGE BASED ON A FORMAL BOUNDARY REDEFINITION SURVEY.
- ANY CONSTRUCTION ON OR NEAR BOUNDARIES WILL REQUIRE FURTHER SURVEY IN ORDER THAT MARKS DEFINING BOUNDARIES CAN BE PLACED.
- SURVEY IS ON MGA 94 ORIENTATION



LTS CONTOUR AND DETAIL SURVEY, EASEMENT AND BOUNDARY INFORMATION
SHOWN IN GREY ON THIS PLAN HAS NOT BEEN VERIFIED BY LANDPARTNERS
AND LANDPARTNERS ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY



**BERRY ROAD
DEVELOPMENT
PTY LTD**

PROJECT

**ADDITIONAL DETAIL
SURVEY OF LOT 45 IN
DP76740, LOT 1 IN DP195104,
LOT 46 IN DP1103247, LOT
1&2 IN DP586272
BEING 24-18 PARK ROAD ST LEONARDS**

(i) This plan has been prepared for the exclusive use of LLENL and their consultants for design purposes and is not to be used for any other purpose or by any other entity without the express permission of LandPartners Pty Ltd.

(j) The title boundaries as shown herein were not marked at the time of survey. Field survey was undertaken to confirm there are no significant differences to the title dimensions.

(k) Services shown herein have been located where visible by field survey. If not able to be so located, the location is based on the records of relevant authorities where available and have been noted as 'symbolised/assumed'. Where such records do exist or are inadequate a notation has been made herein.

(l) Underground connections between services have been joined based on relevant authority records and have been symbolised accordingly.

(m) Prior to any demolition, excavation or construction on the site, the relevant authority should be contacted for possible location of any underground services and detailed locations of all services.

(n) This data should not be reproduced in any way without the permission of LandPartners Pty Ltd. Any reproduction of this data must contain these notes

1	CLP	17/10/2022	INITIAL ISSUE

SYM	DESCRIPTION	SYM	DESCRIPTION
	AUSPOST BOX		GAS MAIN
	BENCHMARK		GAS METER
	BIN		GAS VALVE
	BOLLARD		SEWER LAMP HOLE
	BOREHOLE		SEWER MAN HOLE
	BUS STOP SIGN		SEWER VENT PIPE
	FLAG POLE		OPTICAL FIBRE MARKER
	GATE		OPTICAL FIBRE PIT
	MAIL BOX		TELECOM DIST PILLAR
	SEAT		TELECOM POLE
	UNKNOWN SERVICE		TELECOM SINGLE PIT
	DRAINAGE GULLY PIT		TELECOM TWIN PIT
	DRAINAGE MAN-HOLE		TRAFFIC JUNCTION BOX
	ELEC FUSE BOX		TRAFFIC LIGHT
	ELEC GARDEN LIGHT		TRAFFIC SIGN
	ELEC GREEN PILLAR		TRAFF SIGNAL CONTROLLER
	ELEC LIGHT POLE		SHRUB
	ELEC POLE & LIGHT		TREE
	ELEC POLE&TRANSFORMER		WATER AIR VALVE
	ELEC POWER POLE		WATER HYDRANT
	ELEC SINGLE PIT		WATER METER
	ELEC STAY POLE		WATER PUMP
	ELEC TWIN PIT		WATER STOP VALVE
	FUEL PIT		WATER TAP

Symbols shown are indicative only. The symbol size and orientation does not necessarily represent the real size or orientation of the feature.

DRAINAGE PIPE U/G	SW	SW	SW	SW
DRAIN	D	D	D	D
ELECT. CABLE A/G	E	E	E	E
ELEC. CABLE U/G	E	E	E	E
GAS PIPE	GAS	GAS	GAS	GAS
FENCE LINE	/	/	/	/
SEWERAGE PIPE	S	S	S	S
TELSTRA CABLE	T	T	T	T
WATER PIPE	W	W	W	W



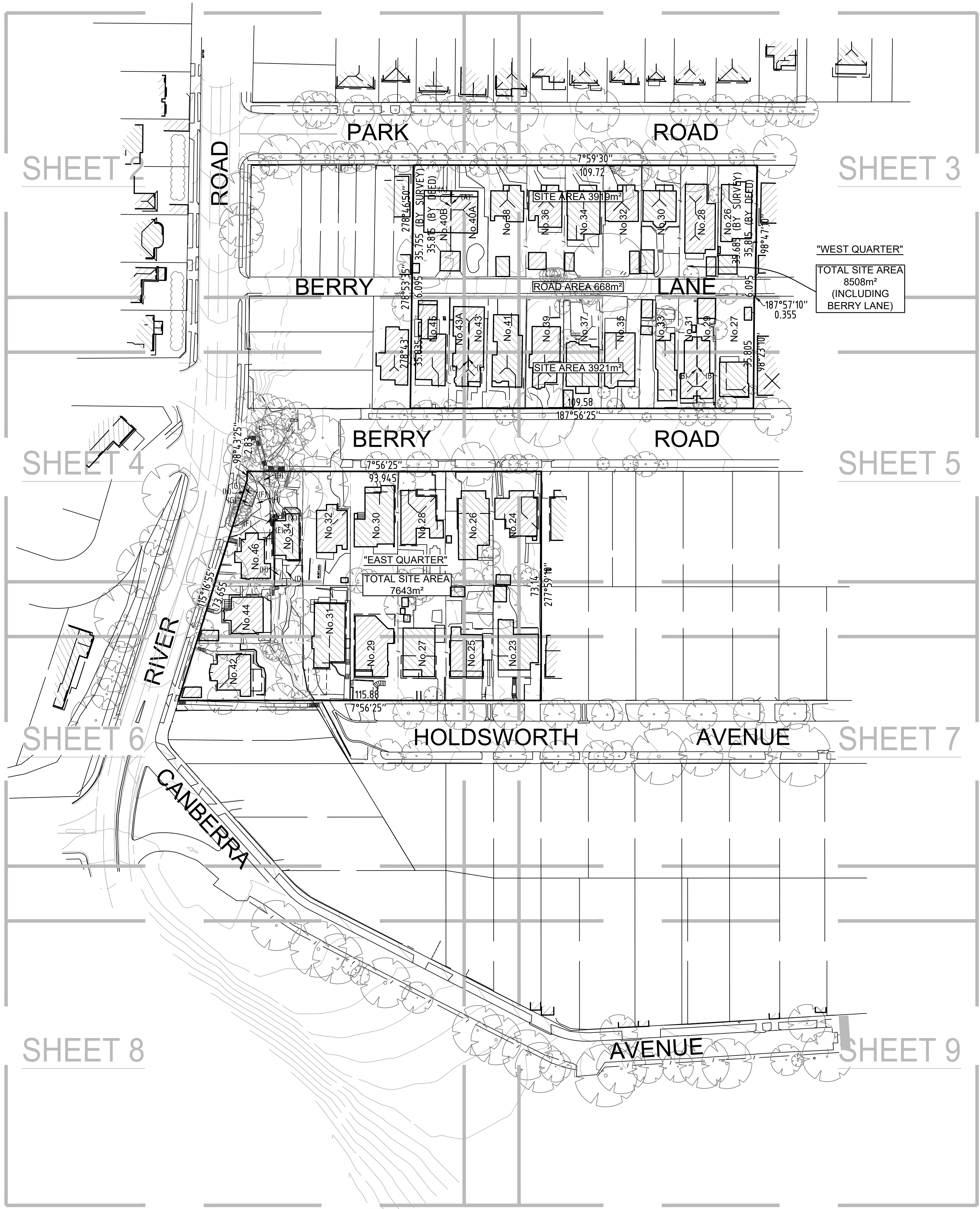
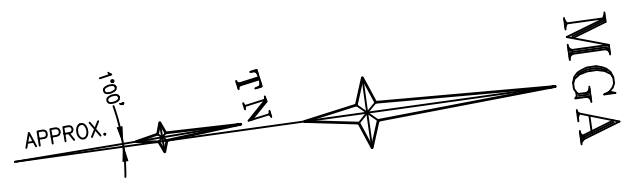
Sydney Office
Level 2
23-29 South Street
Rydalmere NSW 2116
PO Box 1144
Dundas NSW 2117

p: (02) 9685 2000
e: info@landpartners.com.au
w: www.landpartners.com.au



LEVEL DATUM AHD	LOCAL AUTHORITY LANE COVE		
LEVEL ORIGIN SSM26101 RL57.313	SCALE 1:250 (A1)		
MERIDIAN 56	CONTOUR INTERVAL 0.5 Metre		
CO-ORD SYSTEM MGA94	DRAWN CLP	DATE 17/10/2022	
SURVEYOR BL	DATE OF SURVEY 21/09/2022	CHECKED GR	DATE 17/10/2022
FIELD FILE SY074494_003_9_1	APPROVED RL	DATE 17/10/2022	

SY074494.003.10.1 Detail v2004



LEGEND

BENCH MARK	▲
TELSTRA PILLAR	☒ TP
TELSTRA PIT	☒ TEL
ELECTRIC LIGHT POLE	● ELP
POWER POLE	● PP
PIT WITH CONCRETE LID	□ CLID
STREET SIGN	☒ SS
GRATED INLET PIT	☒ GIP
KERB INLET PIT	☒ KIP
SEWER INSPECTION POINT	○ SIP
SEWER VENT	⊙ SEV
SEWER MANHOLE	○ SMH
STOP VALVE	☒ SV
HYDRANT	■ HYD
WATER VALVE	◆ WV
GAS VALVE	⊠ GM
GAS MARKER	☒ GAS
VEHICLE CROSSING	(VC)
PRAM CROSSING	(PC)
RIDGE LEVEL	eg.R.58.38
TOP GUTTER LEVEL	eg.TG.56.14
DECK LEVEL	eg.D.53.35
FLOOR LEVEL	eg.FL.50.56
INVERT LEVEL	eg.I.L.41.49
GAS (DBYD)	— G —
TELSTRA (DBYD)	— T —
WATER (DBYD)	— W —
SEWER (DBYD)	— S —
ELECTRICITY (OVERHEAD)	— P —
ELECTRICITY (U'GROUND) (DBYD)	— E —
STORMWATER DRAINAGE	— SW —



REFER TO NOTES AND LEGEND



D	00/00/00	-	00
C	00/00/00	-	00
B	00/00/00	-	00
A	00/00/00	-	00
Revision	Date	Description	Reference

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Locked Bag 5
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Client GREATON DEVELOPMENT PTY LTD
Drawing title
PLAN OF DETAIL AND LEVELS OVER No's 26-40B PARK ROAD, 24-34 & 27-45 BERRY ROAD, 23-31 HOLDSWORTH AVENUE & 42-46 RIVER ROAD, ST LEONARDS

datum
AHD
site Area
SEE PLAN
LGA
LANE COVE
reference number
42520 003DT
scale
1:750 @A1
date of survey
15/03/2018
SHEET
9
1

SCHEDULE OF LOT & BUILDING INFORMATION
PARK ROAD PROPERTIES

No.	LOT No.	SECT. No.	DP No.	AREA	BUILDING DESCRIPTION	LEVELS	ROOF
26	44	3	3044	435.0m ²	CONCRETE	1	TILE
28	43	3	3044	435.1m ²	CONCRETE	1	TILE
30	5	-	305449	444.7m ²	BRICK	1	TILE
32	4	-	305449	437.0m ²	BRICK	1	TILE
34	3	-	305449	436.8m ²	BRICK	2	TILE
36	2	-	305449	434.1m ²	BRICK	1	TILE
38	1	-	305449	431.4m ²	BRICK	1	TILE
40A	37	-	666528	429.0m ²	RENDERED BRICK	2	TILE
40B	36	3	3044	435.6m ²	RENDERED BRICK	2	TILE

SCHEDULE OF LOT & BUILDING INFORMATION
BERRY ROAD PROPERTIES

No.	LOT No.	SECT. No.	DP No.	AREA	BUILDING DESCRIPTION	LEVELS	ROOF
27	19	-	82696	435.7m ²	BRICK	1	TILE
29	1	-	533847	215.1m ²	BRICK & W/BOARD	1	METAL
31	2	-	533847	213.2m ²	BRICK & W/BOARD	1	METAL
33	21	3	3044	436.5m ²	BRICK & FIBRE CEMENT	1	METAL
35	22	3	3044	436.6m ²	BRICK	2	TILE
37	23	-	79978	436.8m ²	BRICK	1	TILE
39	24	3	3044	436.8m ²	BRICK & WOOD	1	TILE
41	25	3	3044	436.9m ²	BRICK	2	TILE
43	1	-	734702	219.7m ²	BRICK	2	TILE
43A	2	-	734702	217.0m ²	BRICK	2	TILE
45	27	3	3044	436.8m ²	BRICK	1	TILE
24	28	2	7259	557.3m ²	BRICK	1	TILE
26	27	2	7259	557.3m ²	BRICK	1	TILE
28	26	2	7259	557.3m ²	BRICK	1	TILE
30	25	2	7259	557.3m ²	RENDERED BRICK	1	TILE
32	24	2	7259	556.6m ²	BRICK	1	TILE
34	1	-	1037926	413.4m ²	BRICK	1	TILE

SCHEDULE OF LOT & BUILDING INFORMATION
HOLDSWORTH AVENUE PROPERTIES

No.	LOT No.	SECT. No.	DP No.	AREA	BUILDING DESCRIPTION	LEVELS	ROOF
23	16	2	7259	557.3m ²	BRICK	2	TILE
25	17	2	7259	557.3m ²	BRICK & W/BOARD	1	TILE
27	18	2	7259	557.3m ²	BRICK	1	TILE
29	19	2	7259	557.3m ²	RENDERED BRICK	1	TILE
31	20	2	7259	557.5m ²	RENDERED BRICK	2	TILE

SCHEDULE OF LOT & BUILDING INFORMATION
RIVER ROAD PROPERTIES

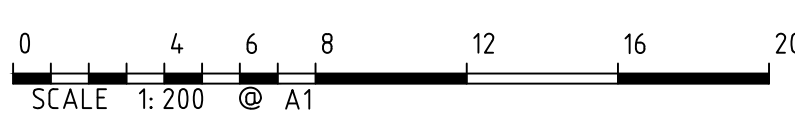
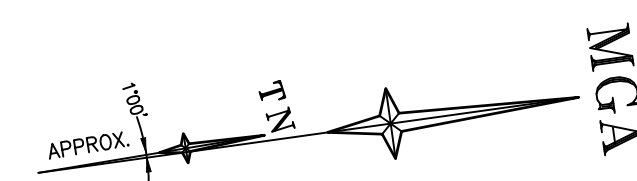
No.	LOT No.	SECT. No.	DP No.	AREA	BUILDING DESCRIPTION	LEVELS	ROOF
42	21	2	7259	672.8m ²	BRICK	1	TILE
44	22	2	7259	568.8m ²	BRICK & SANDSTONE	1	TILE
46	2	-	1037926	416m ²	BRICK & SANDSTONE	1	TILE

EASEMENTS

- (A) EASEMENT FOR SUPPORT (DP 637580)
(B) CROSS EASEMENTS AFFECTING PARTY WALL ON COMMON BOUNDARY (L490274)
(C) CROSS EASEMENTS AFFECTING PARTY WALL ON COMMON BOUNDARY (W580738)
(D) EASEMENT TO DRAIN SEWAGE OVER EXISTING LINE OF PIPES (DP 1037926)
(APPROXIMATE POSITION ONLY)
(E) EASEMENT FOR OVERHANG VARIABLE WIDTH (DP 1037926)
(F) RIGHT OF CARRIAGEWAY 3 WIDE (DP 1037926)
(G) EASEMENT FOR PARKING 2.5 WIDE (DP 1037926)
(H) EASEMENT FOR PASSIVE RECREATION VARIABLE WIDTH (8695477 & 8700926)
(X) RESTRICTION ON THE USE OF LAND (DP 1037926)

NOTES

- THE BOUNDARIES HAVE NOT BEEN MARKED
- ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE BY NSW LAND REGISTRY SERVICES AND ARE SUBJECT TO FINAL SURVEY
- ALL ADJOINING BOUNDARIES HAVE BEEN PLOTTED FROM LATEST CADASTRAL RECORDS ENQUIRY AND ARE APPROXIMATE ONLY
- ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM SSM 74341 R.L. 76.437 (A.H.D.) IN BERRY ROAD
- CONTOUR INTERVAL 1.0 m
- CONTOURS ARE INDICATIVE ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
- KERB LEVELS ARE TO THE TOP OF KERB UNLESS SHOWN OTHERWISE
- FLOOR LEVELS SHOWN ARE THRESHOLD LEVELS. NO INVESTIGATION OF INTERNAL FLOOR LEVELS HAS BEEN UNDERTAKEN
- NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. SERVICES HAVE BEEN PLOTTED FROM RELEVANT AUTHORITIES INFORMATION AND HAVE NOT BEEN SURVEYED. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE
- 8/4/77 DENOTES TREE SPREAD OF 8m, TRUNK DIAMETER OF 0.4m & APPROX HEIGHT OF 7m
- BEARINGS SHOWN ARE MGA (MAP GRID OF AUSTRALIA) ADD APPROX. 1°00' FOR TRUE NORTH

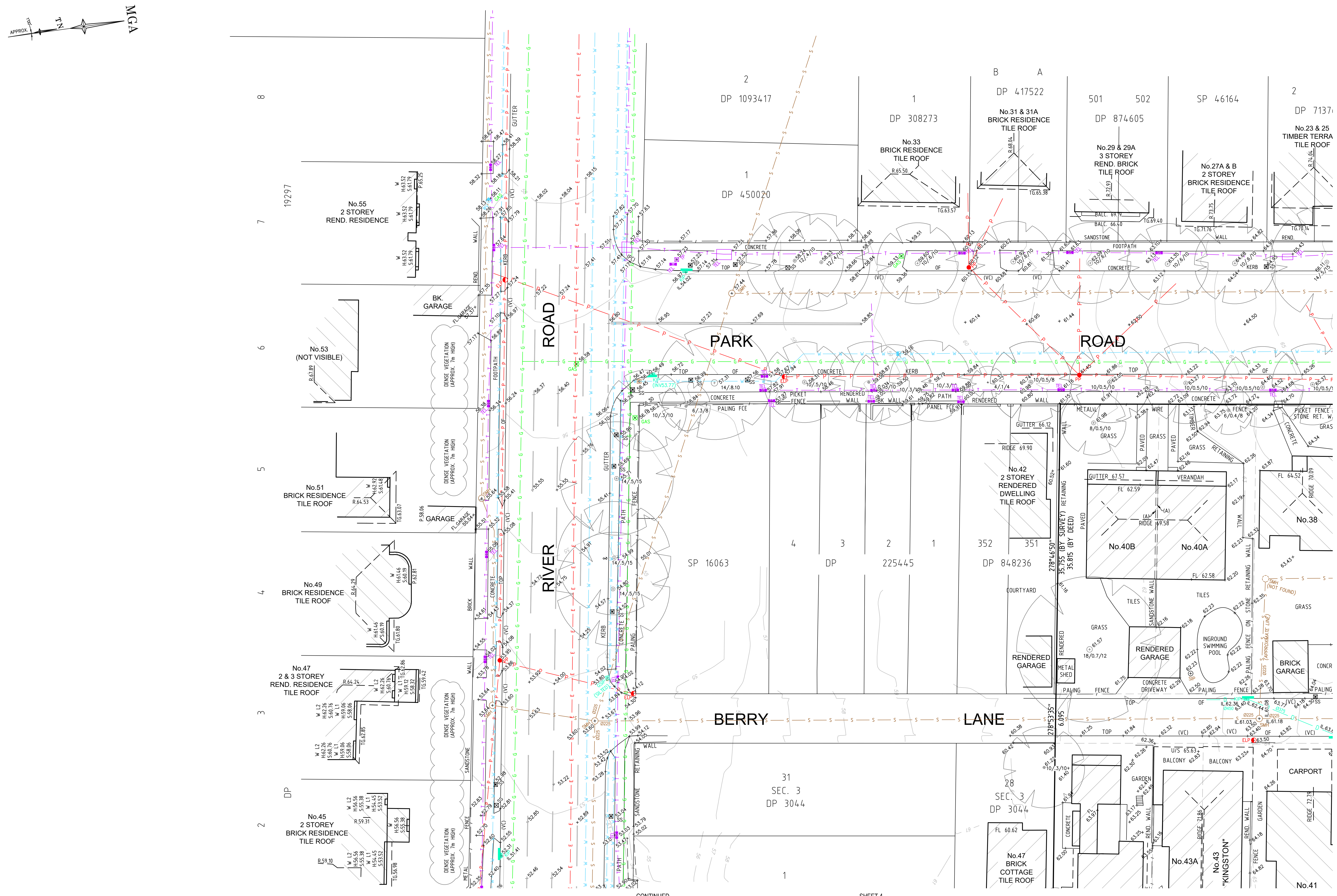


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Drawing title: PLAN OF DETAIL AND LEVELS OVER No's 26-40B PARK ROAD, 24-34 & 27-45 BERRY ROAD, 23-31 HOLDSWORTH AVENUE & 42-46 RIVER ROAD, ST LEONARDS
datum: AHD
site Area: SEE PLAN
LGA: LANE COVE
reference number: 42520 003DT
scale: 1:200 @A1
date of survey: 15/03/2018
SHEET 9

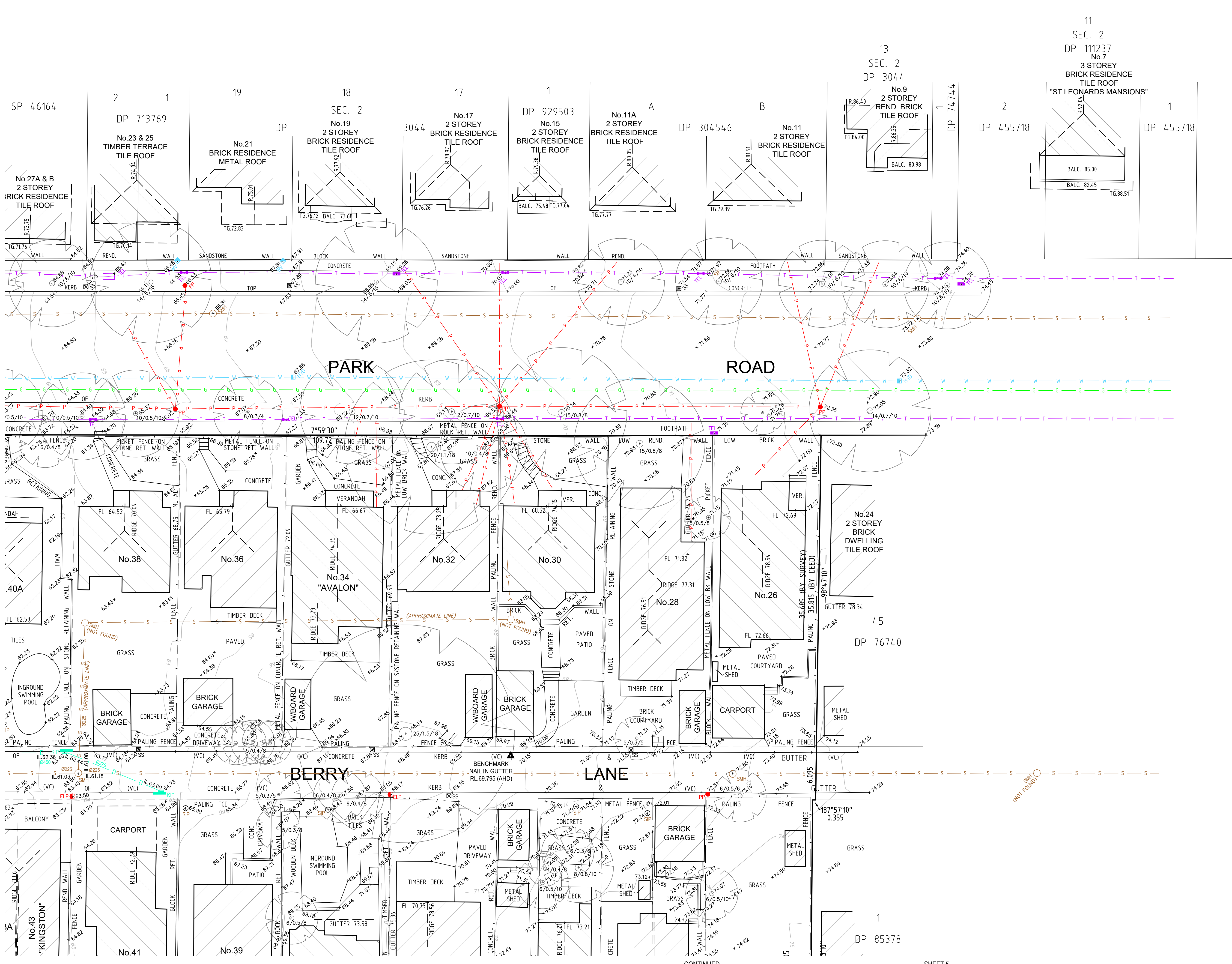
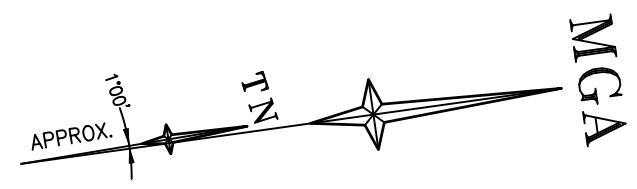


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SHEET 4

SHEET 3

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Client

GREATON DEVELOPMENT PTY LTD

datum

AHD

reference number

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scale

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date of survey

15/03/2018

LGA

LANE COVE

Drawing title

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SHEET

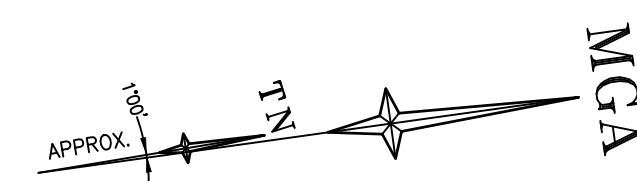
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SHEET 2

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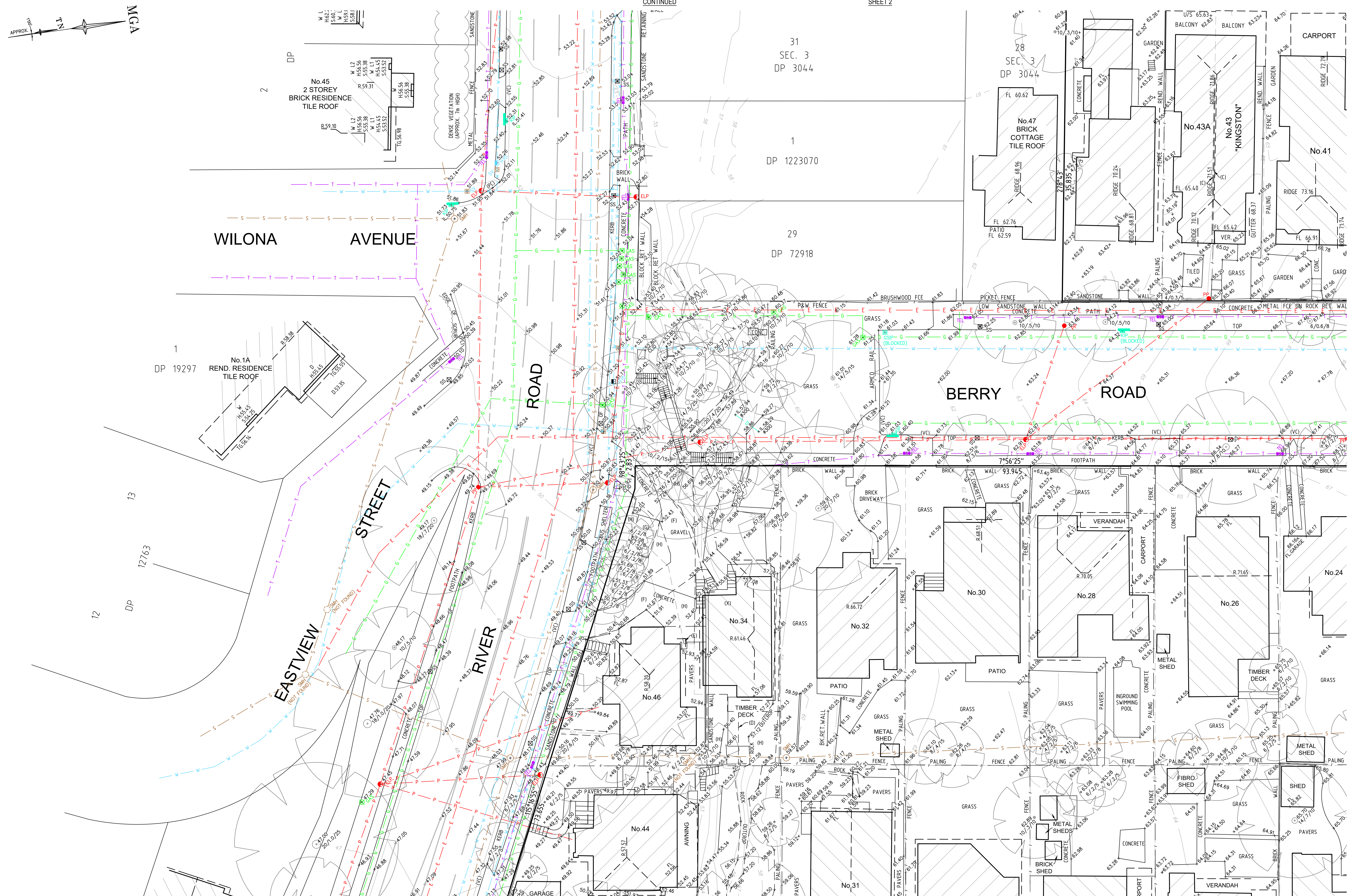
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site Area: SEE PLAN
LGA: LANE COVE
reference number: 42520 003DT
scale: 1:200 @A1
date of survey: 15/03/2018
SHEET 5 OF 9

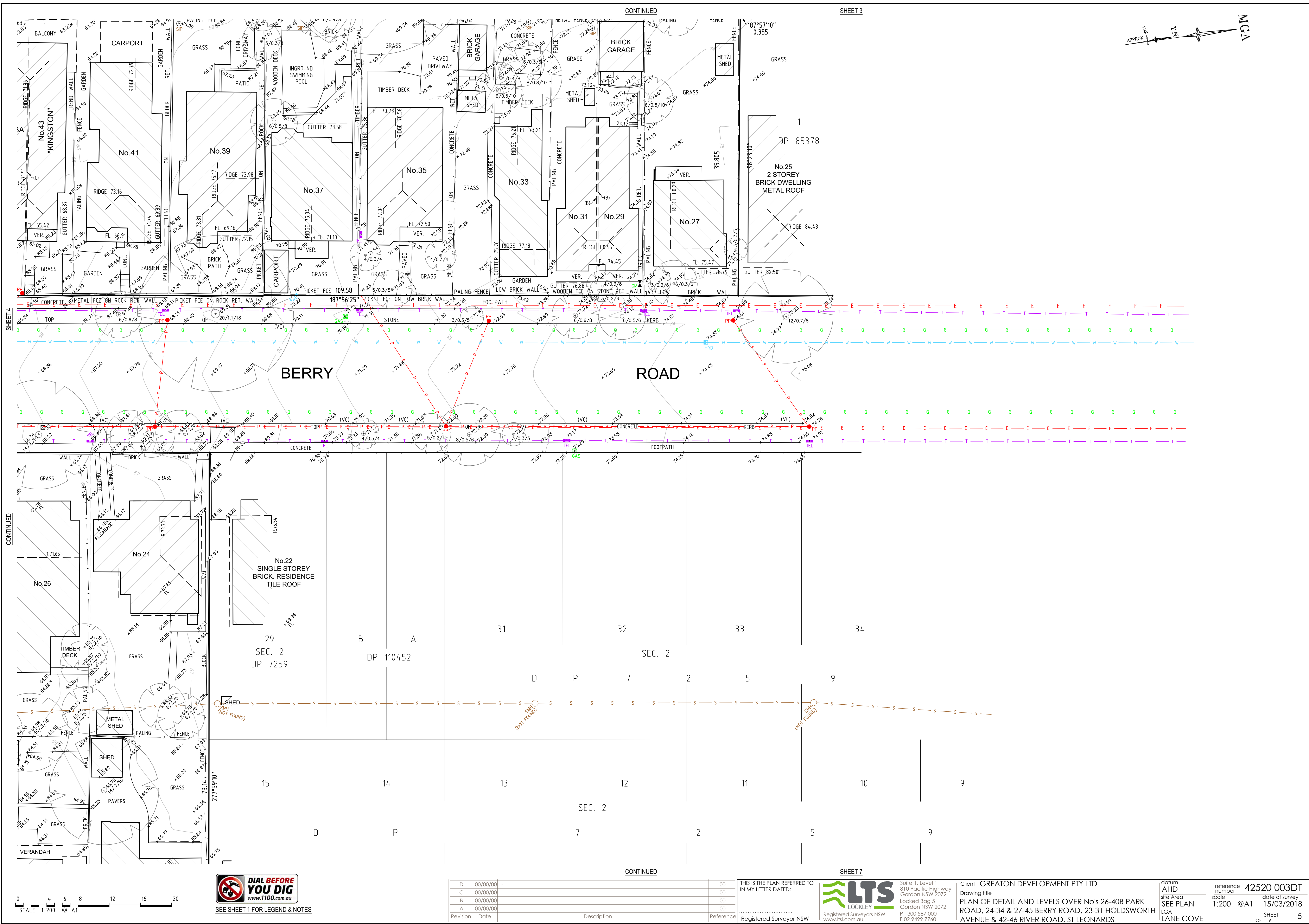


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SHEET 6

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SHEET 6



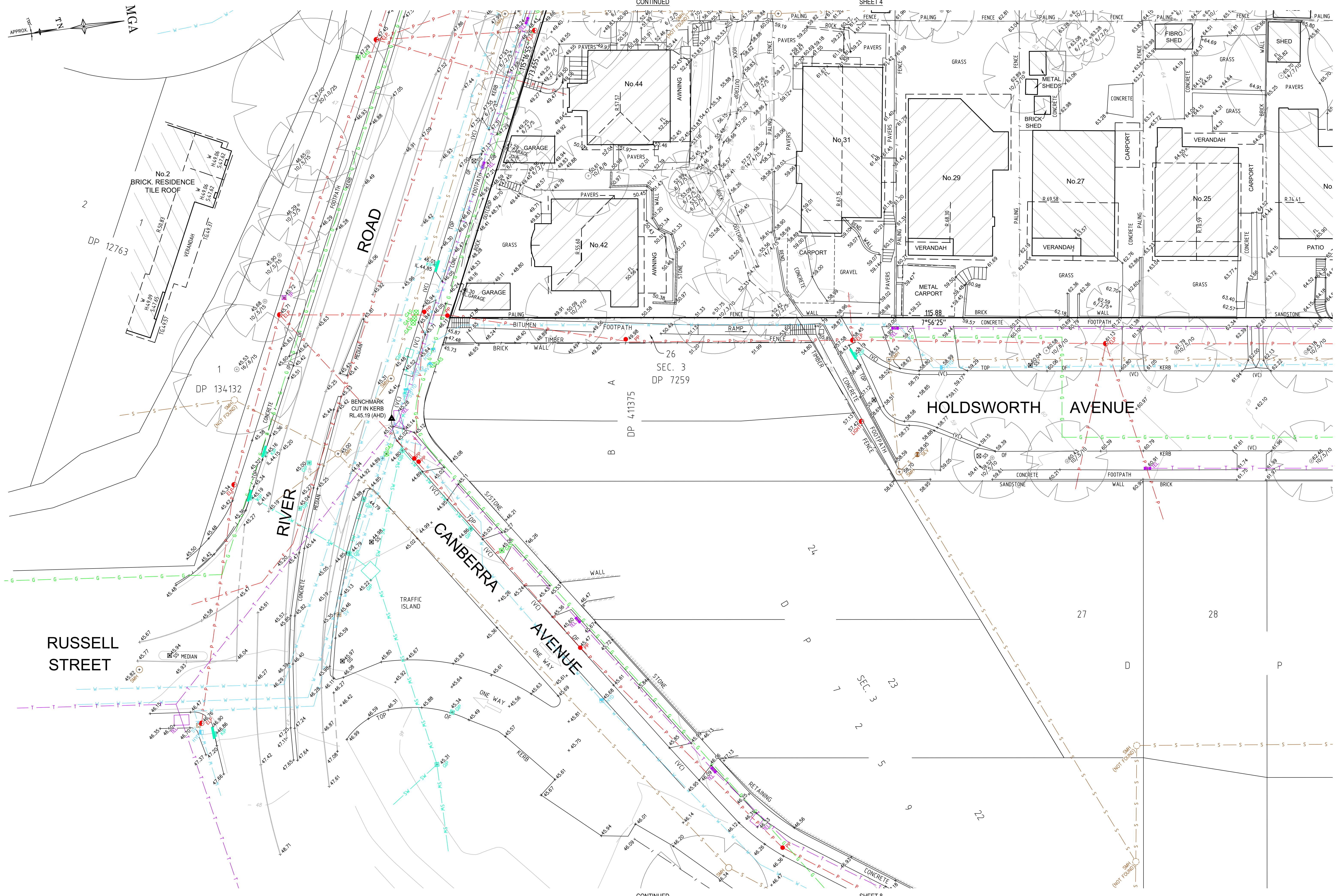


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datum AHD
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SHEET 6 OF 9



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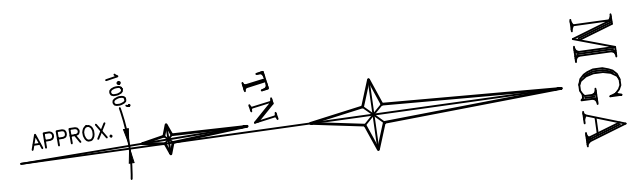
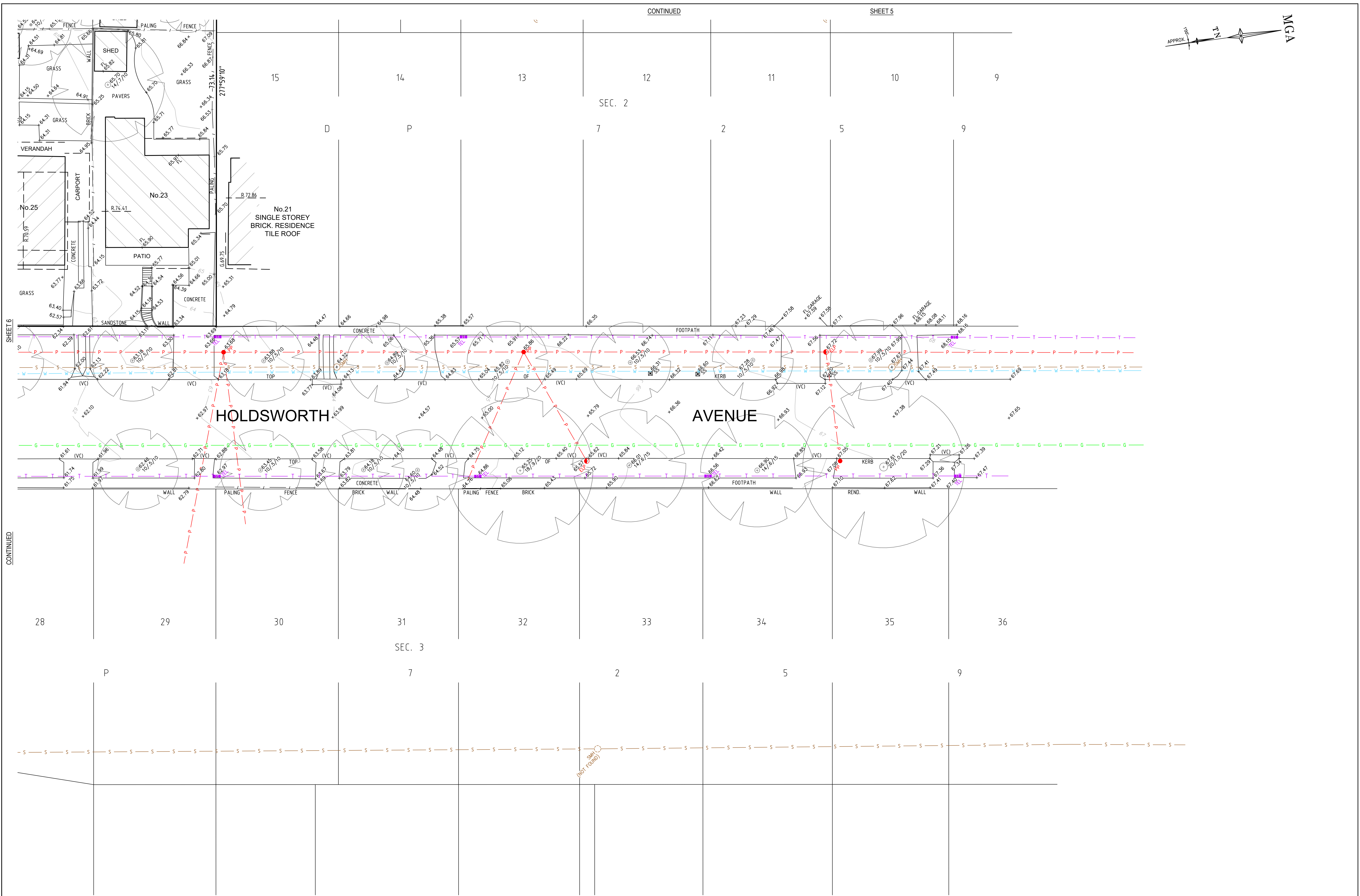
SHEET 8

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SHEET 7

SHEET 4

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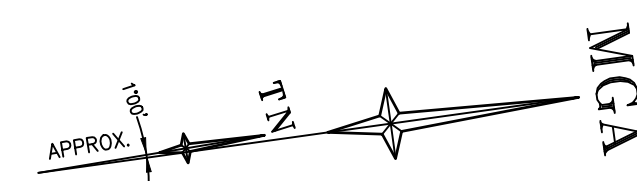
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LANE COVE

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SHEET
OF 9 | 7



D	00/00/00	-		00
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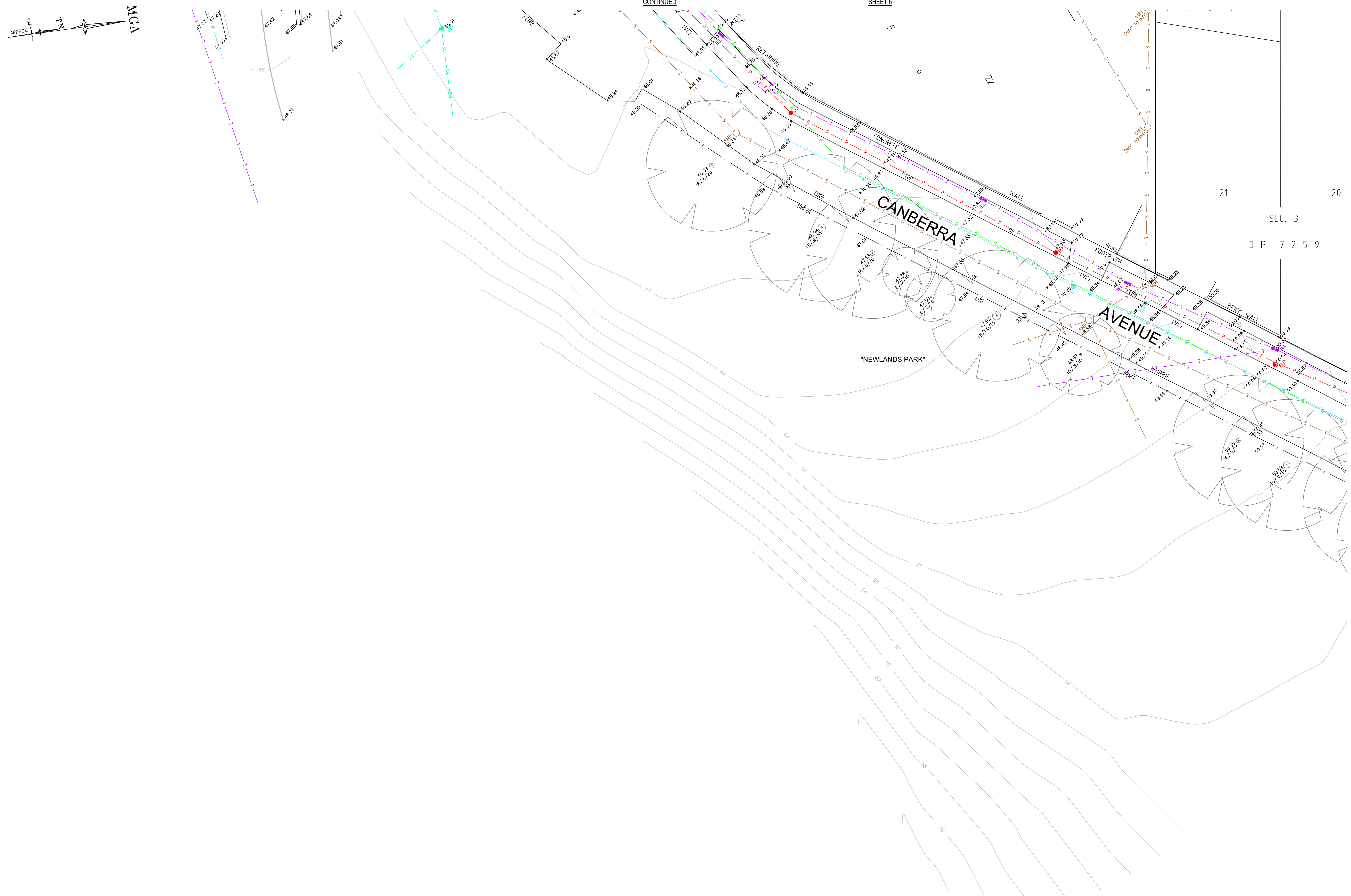


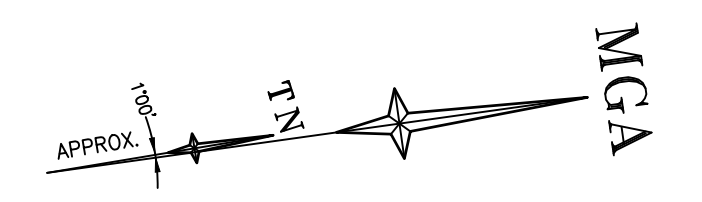
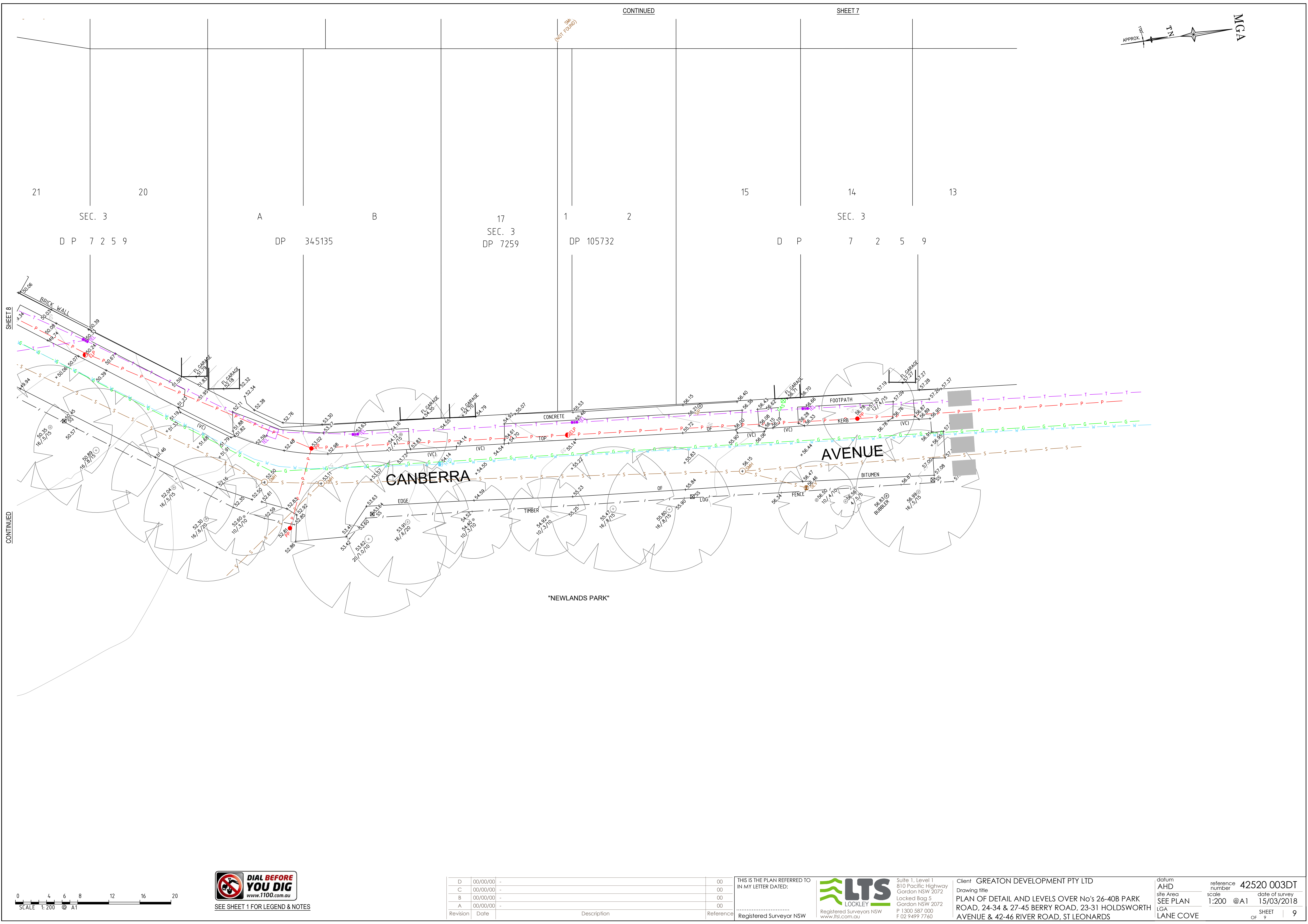
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site Area	scale	1:200 @A1
SEE PLAN	date of survey	15/03/2018
LGA LANE COVE	SHEET OF 9	8





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